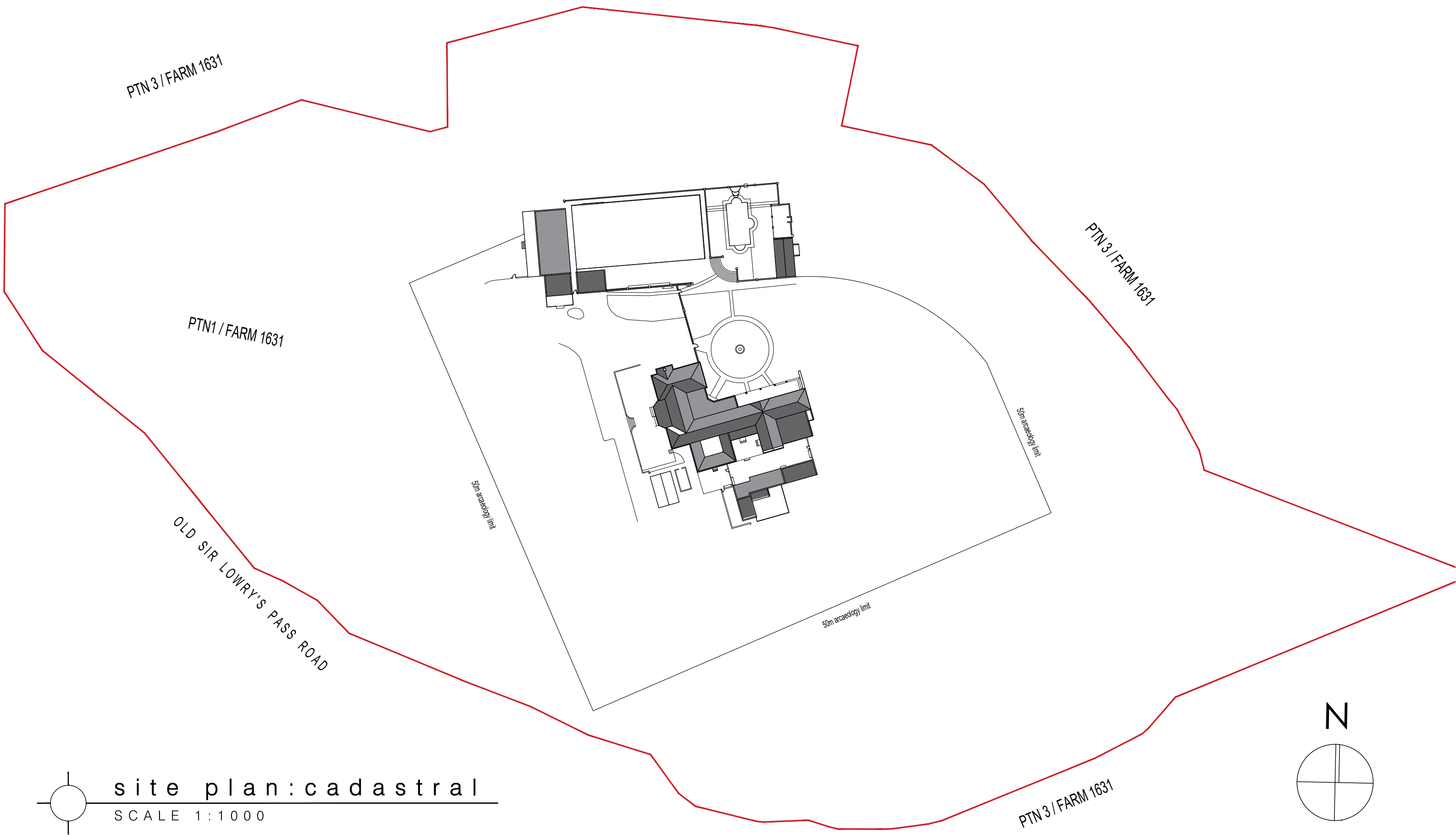


stuart hermannsen
sacap 6148
© 083 658 2640

hb architect (pty) ltd
reg no 2017 / 103 456 / 07

NOTES:

ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE BEFORE ANY WORK COMMENCES. PREFERENCE ALWAYS TO BE GIVEN TO WRITTEN DIMENSIONS OVER SCALED. ALL WORK CARRIED OUT IN ACCORDANCE WITH MUNICIPAL AND / OR NATIONAL BUILDING REGULATIONS. THE DESIGN IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT. ALL FOUNDATIONS TO BE LAID ON SOLID GROUND. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

DWG NAME: SITE PLAN
PROJECT: goeदेवेरवचिंग
CLIENT: mountain view estate

DRAWN: seh SCALE: 1/1000 DATE: 2023 -11-10
JOB NO: 2309
REV NO: 0
DWG NO: 2309-CMP-00



site plan: topographic

SCALE 1:1000



stuart hermansen
sacap 6148
© 083 658 2640

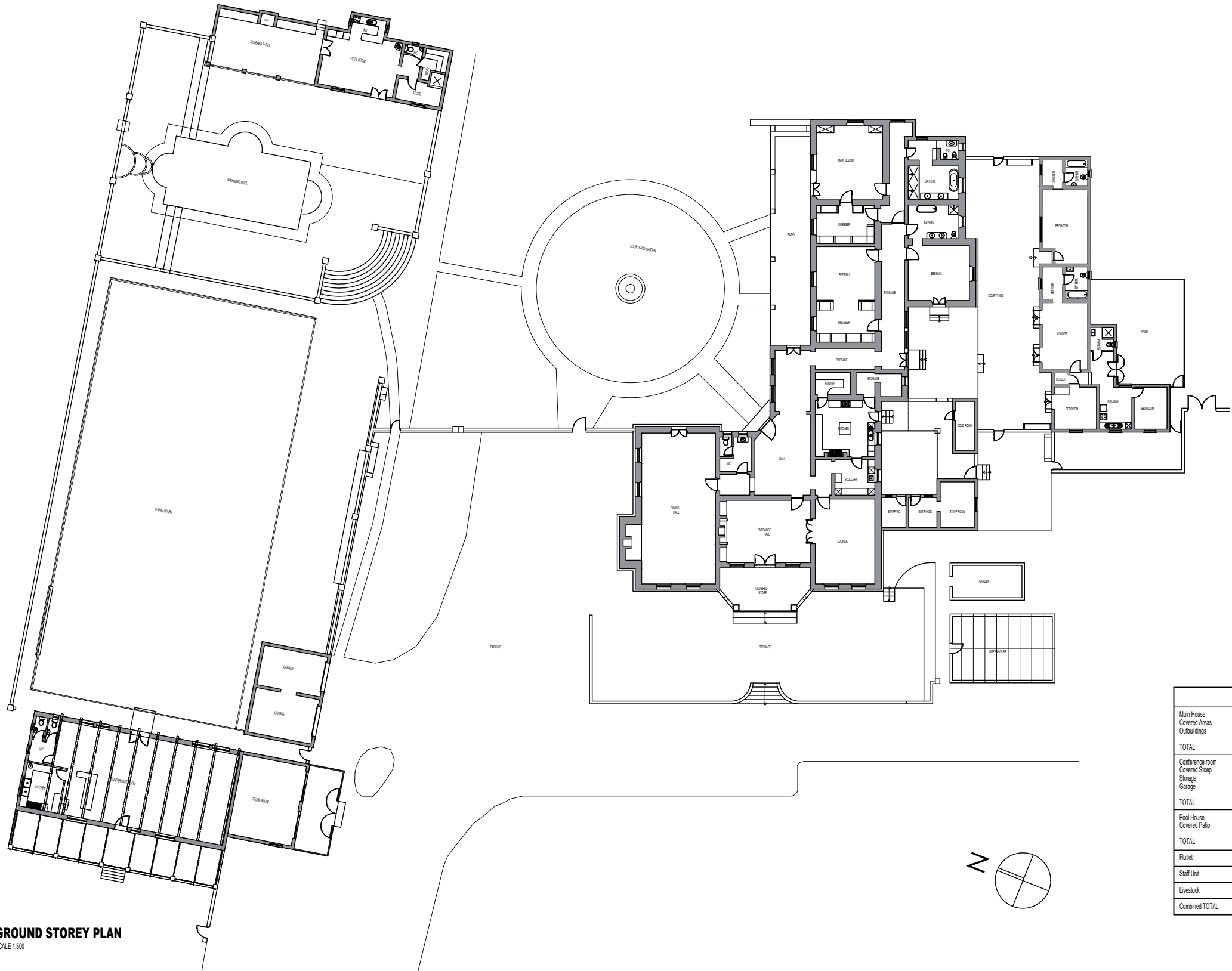
hb architect (pty) ltd
reg no 2017 / 103 456 / 07

NOTES:

ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE BEFORE ANY WORK COMMENCES. PREFERENCE ALWAYS TO BE GIVEN TO WRITTEN DIMENSIONS OVER SCALED. ALL WORK CARRIED OUT IN ACCORDANCE WITH MUNICIPAL AND / OR NATIONAL BUILDING REGULATIONS. THE DESIGN IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT. ALL FOUNDATIONS TO BE LAID ON SOLID GROUND. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

DWG NAME: SITE PLAN
PROJECT: goeeverwachting
CLIENT: mountain view estate

<u>DRAWN:</u> seh	<u>SCALE:</u> 1/1000	<u>DATE:</u> 2023-11-10
<u>JOB NO:</u>	<u>REV NO:</u>	
2309	0	
	<u>DWG NO:</u>	
	2309-CMP-01	



AREAS	
Main House	622,01m²
Covered Areas	48,48m²
Outbuildings	41,93m²
TOTAL	712,42m²
Conference room	161,53m²
Covered Stoep	62,76m²
Storage	44,02m²
Garage	49,92m²
TOTAL	318,23m²
Pool House	65,78m²
Covered Patio	51,58m²
TOTAL	117,08m²
Pavilion	99,99m²
Staff Unit	40,20m²
Livestock	51,27m²
Combined TOTAL	1339,19m²

GROUND STOREY PLAN
SCALE 1:500

NOTES:

ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE BEFORE ANY WORK COMMENCES. PREFERENCE ALWAYS TO BE GIVEN TO WRITTEN DIMENSIONS OVER SCALED. ALL WORK CARRIED OUT IN ACCORDANCE WITH MUNICIPAL AND / OR NATIONAL BUILDING REGULATIONS. THE DESIGN IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT. ALL FOUNDATIONS TO BE LAID ON SOLID GROUND. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

DWG NAME: HOMESTEAD
PRECINCT PLAN

PROJECT: goedeverwachting

CLIENT: mountain view estate

DRAWN: seh SCALE: 1/200 DATE: 2023 -11-10

JOB NO:

2309

REV NO:

0

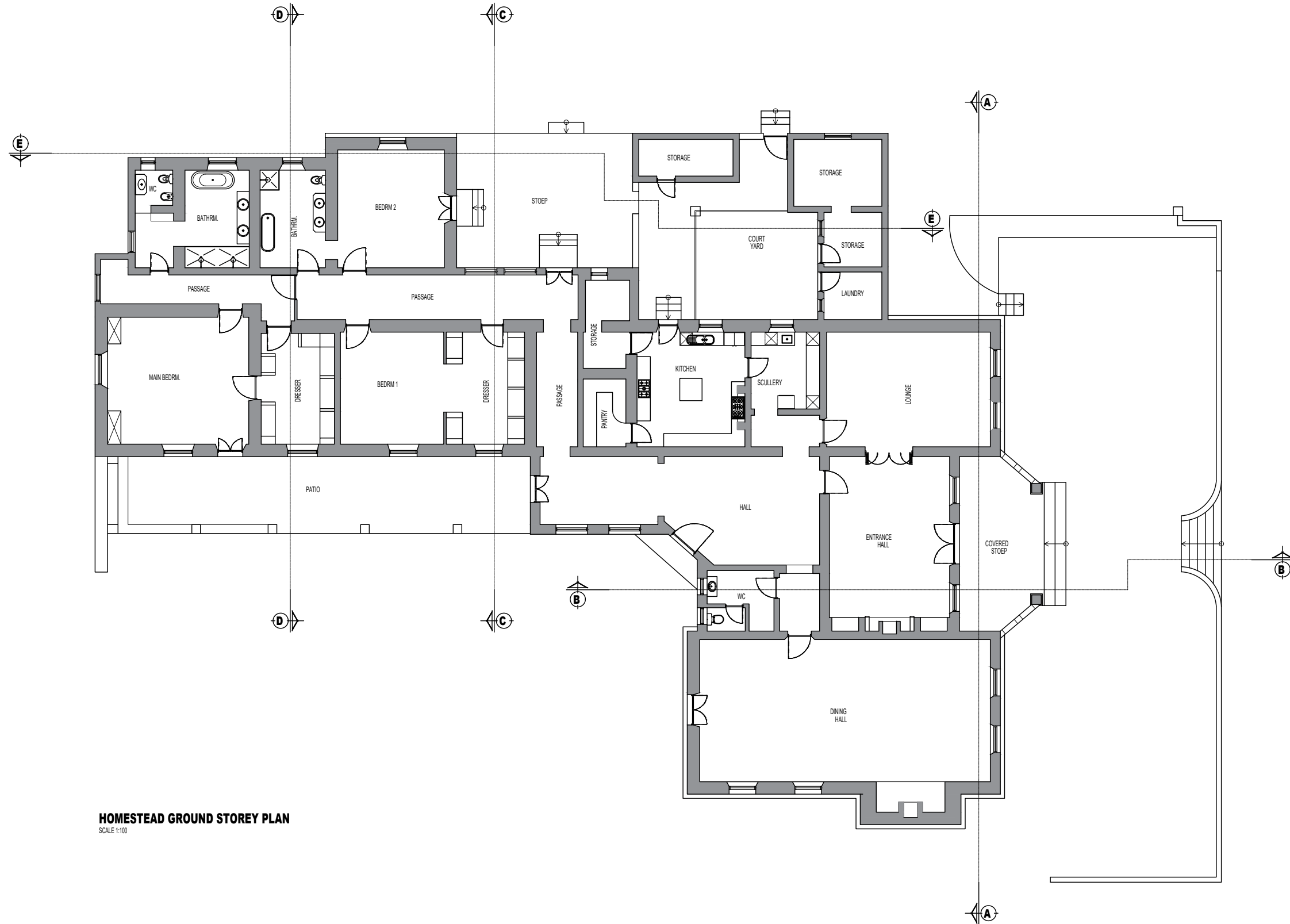
DWG NO:

2309-CMP-02

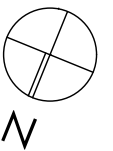
stuart hermannsen
sacap 6148
© 083 658 2640

hb architect (pty) ltd
reg no 2017 / 103 456 / 07





HOMESTEAD GROUND STOREY PLAN
SCALE 1:100



NOTES:

ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE BEFORE ANY WORK COMMENCES. PREFERENCE ALWAYS TO BE GIVEN TO WRITTEN DIMENSIONS OVER SCALED. ALL WORK CARRIED OUT IN ACCORDANCE WITH MUNICIPAL AND / OR NATIONAL BUILDING REGULATIONS. THE DESIGN IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT. ALL FOUNDATIONS TO BE LAID ON SOLID GROUND. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

DWG NAME: HOMESTEAD
PLAN

PROJECT: goedeverwachting

CLIENT: mountain view estate

DRAWN: seh **SCALE:** 1/100 **DATE:** 2023 -11-10

JOB NO:

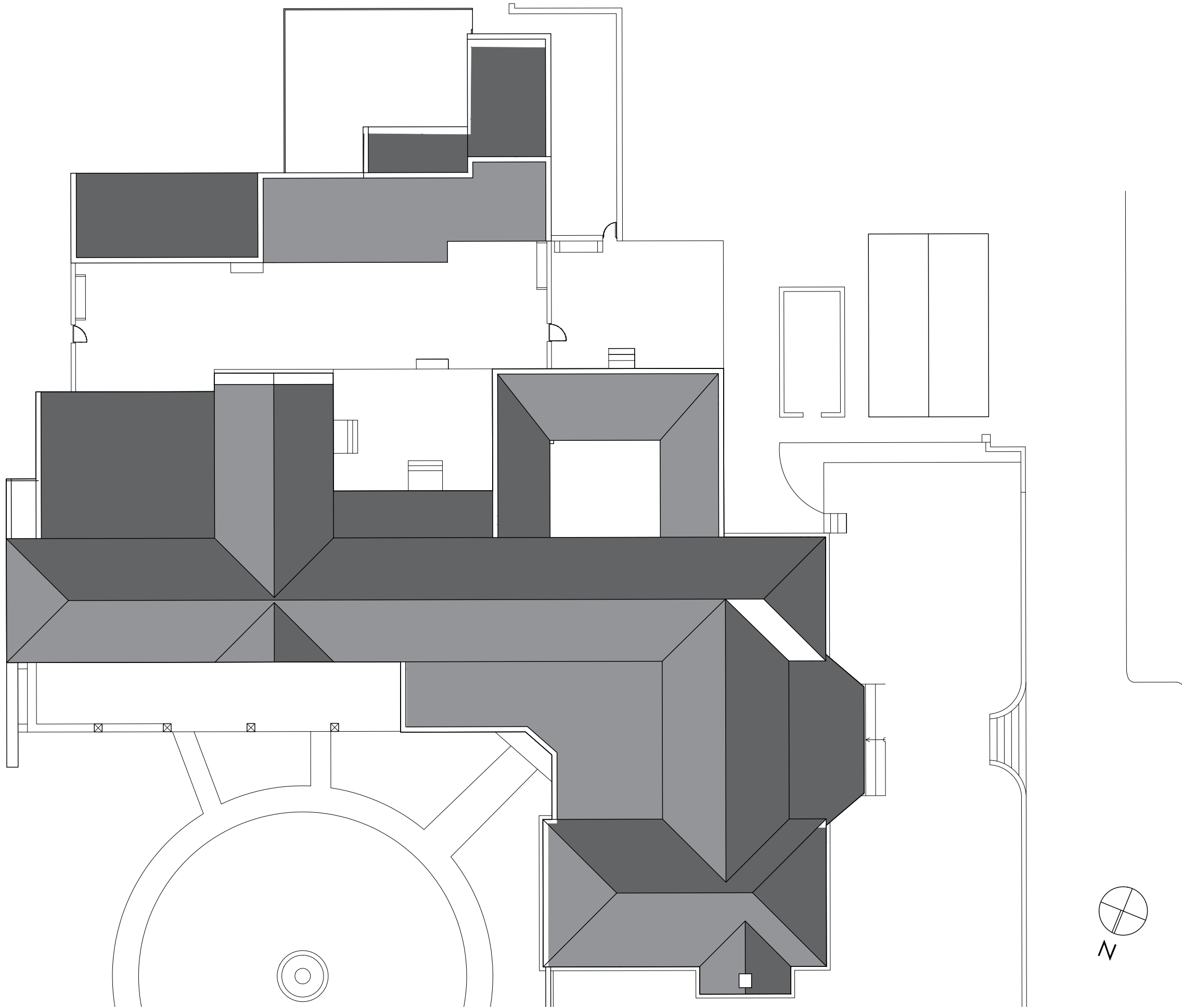
2309

REV NO:

0

DWG NO:

2309-CMP-03



NOTES:

ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE BEFORE ANY WORK COMMENCES. PREFERENCE ALWAYS TO BE GIVEN TO WRITTEN DIMENSIONS OVER SCALED. ALL WORK CARRIED OUT IN ACCORDANCE WITH MUNICIPAL AND / OR NATIONAL BUILDING REGULATIONS. THE DESIGN IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT. ALL FOUNDATIONS TO BE LAID ON SOLID GROUND. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

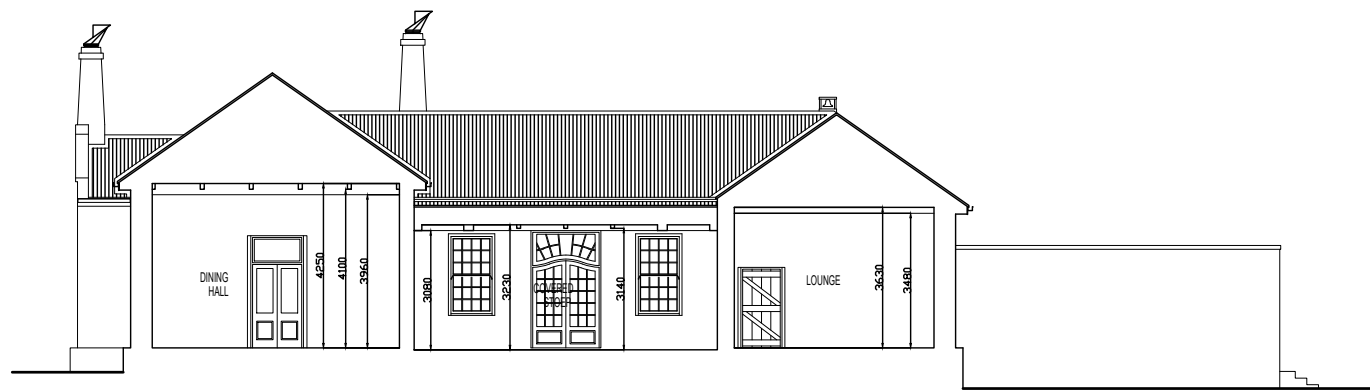
DWG NAME: ROOF PLAN
PROJECT: goedeverwachting
CLIENT: mountain view estate

DRAWN: seh	SCALE: 1/200	DATE: 2023 -11-10
JOB NO:	REV NO:	
2309	0	
	DWG NO:	
	2309-CMP-04	

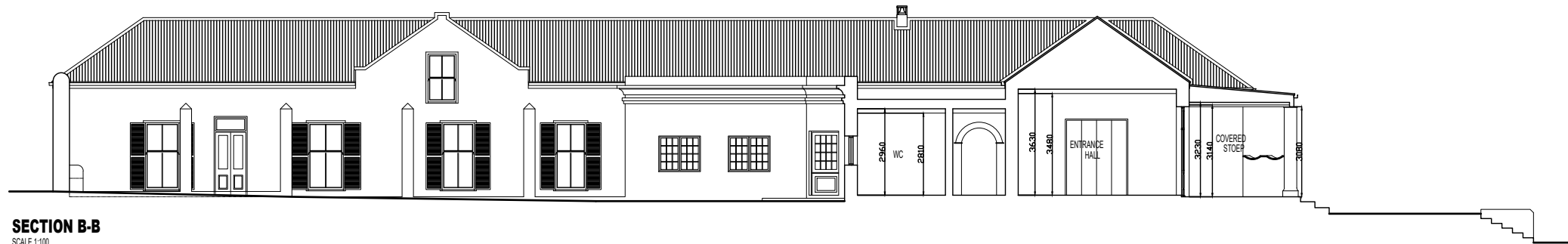


stuart hermansen
sacap 6148
© 083 658 2640

hb architect (pty) ltd
reg no 2017 / 103 456 / 07



SECTION A-A
SCALE 1:100



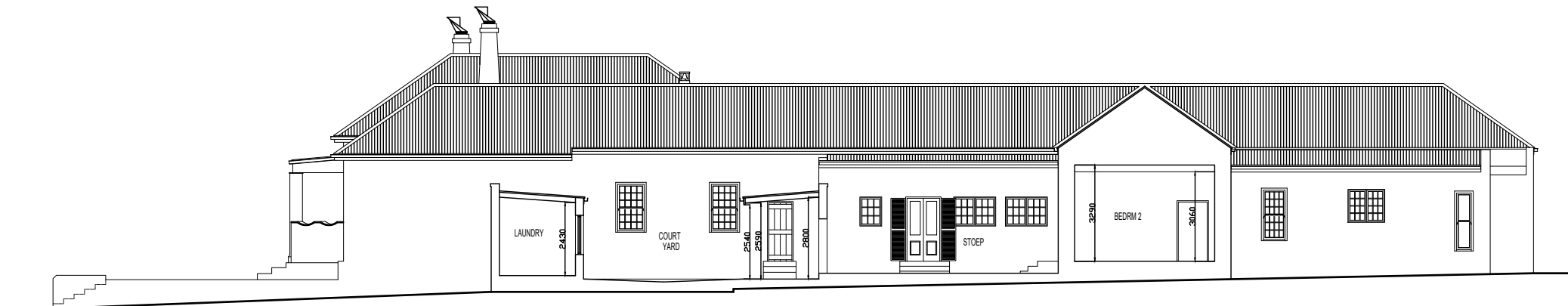
SECTION B-B
SCALE 1:100



SECTION C-C
SCALE 1:100



SECTION D-D
SCALE 1:100



SECTION E-E
SCALE 1:100

NOTES:

ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE BEFORE ANY WORK COMMENCES. PREFERENCE ALWAYS TO BE GIVEN TO WRITTEN DIMENSIONS OVER SCALED. ALL WORK CARRIED OUT IN ACCORDANCE WITH MUNICIPAL AND / OR NATIONAL BUILDING REGULATIONS. THE DESIGN IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT. ALL FOUNDATIONS TO BE LAID ON SOLID GROUND. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

DWG NAME: SECTIONS

PROJECT: goeदेवेवचतंग

CLIENT: mountain view estate

DRAWN: seh **SCALE:** 1/100 **DATE:** 2023 -11-10

JOB NO:

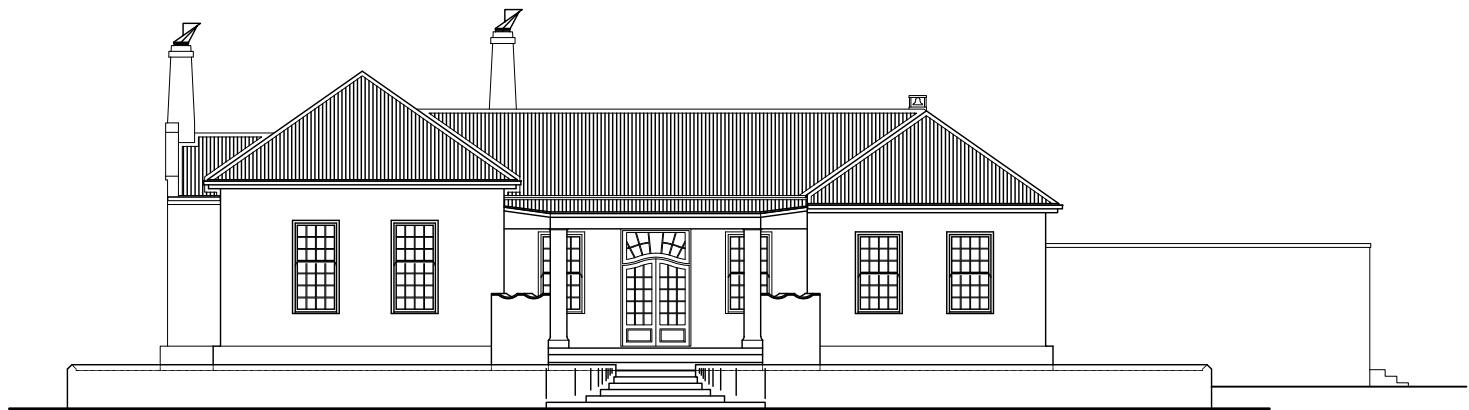
2309

REV NO:

0

DWG NO:

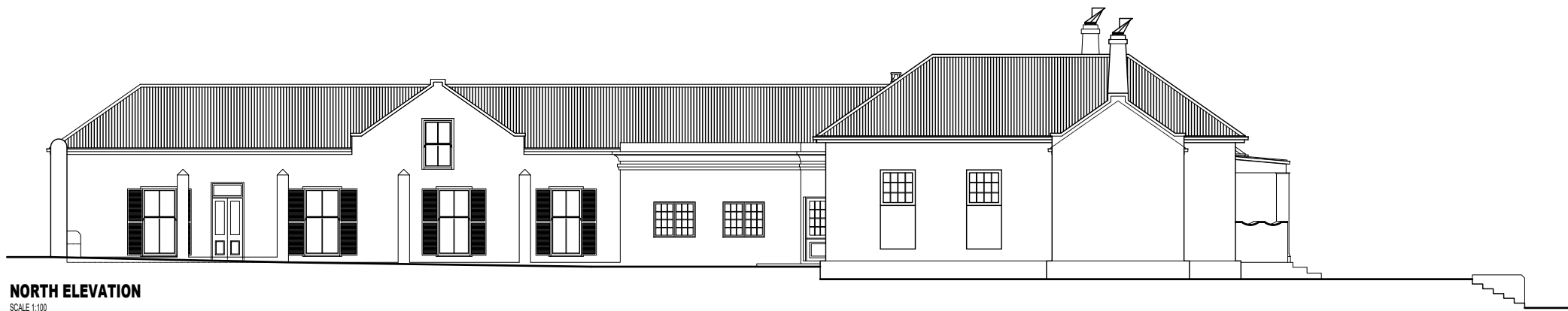
2309-CMP-05



WEST ELEVATION
SCALE 1:100



EAST ELEVATION
SCALE 1:100



NORTH ELEVATION
SCALE 1:100



SOUTH ELEVATION
SCALE 1:100

NOTES:

ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE BEFORE ANY WORK COMMENCES. PREFERENCE ALWAYS TO BE GIVEN TO WRITTEN DIMENSIONS OVER SCALED. ALL WORK CARRIED OUT IN ACCORDANCE WITH MUNICIPAL AND / OR NATIONAL BUILDING REGULATIONS. THE DESIGN IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT. ALL FOUNDATIONS TO BE LAID ON SOLID GROUND. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

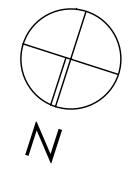
DWG NAME: ELEVATIONS
PROJECT: goedeverwachting
CLIENT: mountain view estate

DRAWN: seh **SCALE:** 1/100 **DATE:** 2023 -11-10
JOB NO: 2309
REV NO: 0
DWG NO: 2309-CMP-06



stuart hermansen
sacap 6148
© 083 658 2640

hb architect (pty) ltd
reg no 2017 / 103 456 / 07



NOTES:

ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE BEFORE ANY WORK COMMENCES. PREFERENCE ALWAYS TO BE GIVEN TO WRITTEN DIMENSIONS OVER SCALED. ALL WORK CARRIED OUT IN ACCORDANCE WITH MUNICIPAL AND / OR NATIONAL BUILDING REGULATIONS. THE DESIGN IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT. ALL FOUNDATIONS TO BE LAID ON SOLID GROUND. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

DWG NAME: FABRIC ANALYSIS

PROJECT: goedeverwachting

CLIENT: mountain view estate

DRAWN: seh **SCALE:** 1/200 **DATE:** 2023 -11-10

JOB NO:

2309

REV NO:

0

DWG NO:

2309-CMP-07



NOTES:

ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE BEFORE ANY WORK COMMENCES. PREFERENCE ALWAYS TO BE GIVEN TO WRITTEN DIMENSIONS OVER SCALED. ALL WORK CARRIED OUT IN ACCORDANCE WITH MUNICIPAL AND / OR NATIONAL BUILDING REGULATIONS. THE DESIGN IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT. ALL FOUNDATIONS TO BE LAID ON SOLID GROUND. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

DWG NAME: PROPOSED
BATHROOMS

PROJECT: goedeverwachting
CLIENT: mountain view estate

DRAWN: seh **SCALE:** 1/150 **DATE:** 2023 -11-10

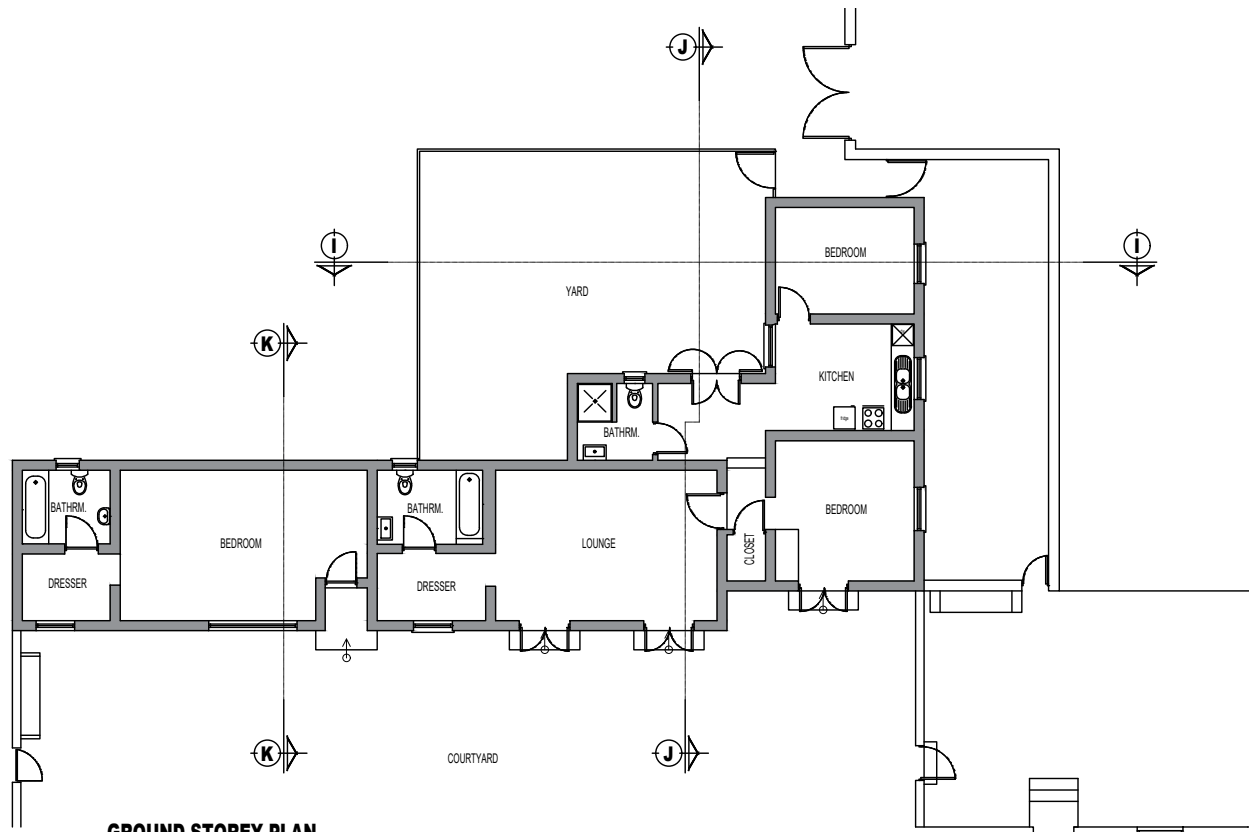
JOB NO: **REV NO:**

2309

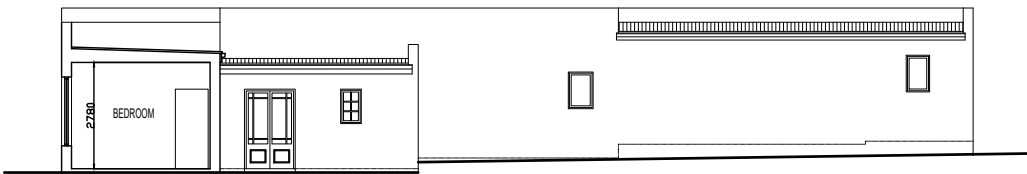
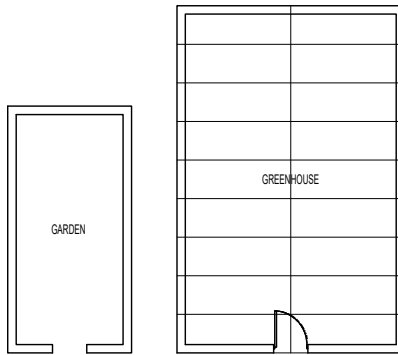
0

DWG NO:

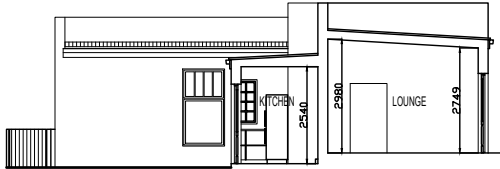
2309-CMP-08



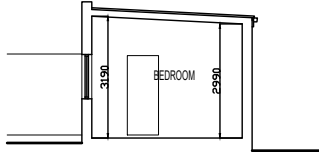
GROUND STOREY PLAN
SCALE 1:100



SECTION I - I
SCALE 1:100



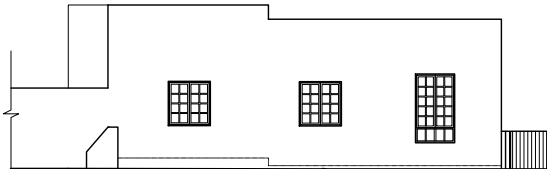
SECTION J-J
SCALE 1:100



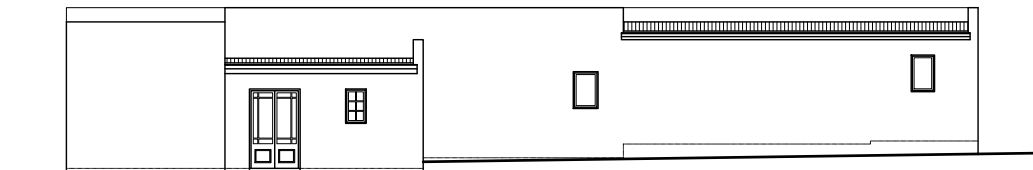
SECTION K-K
SCALE 1:100



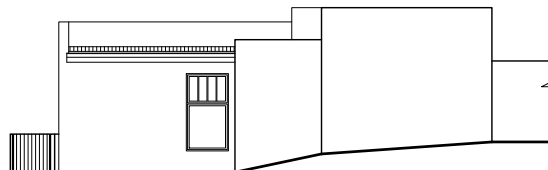
NORTH ELEVATION
SCALE 1:100



WEST ELEVATION
SCALE 1:100



SOUTH ELEVATION
SCALE 1:100



EAST ELEVATION
SCALE 1:100

FLATLET & STAFF UNIT



stuart hermansen
sacap 6148
© 083 658 2640

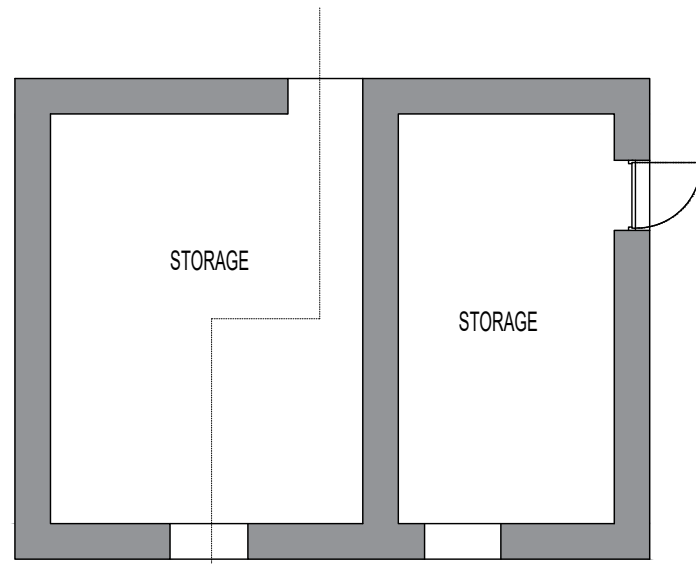
hb architect [pty] ltd
reg no 2017 / 103 456 / 07

NOTES:

ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE BEFORE ANY WORK COMMENCES. PREFERENCE ALWAYS TO BE GIVEN TO WRITTEN DIMENSIONS OVER SCALED. ALL WORK CARRIED OUT IN ACCORDANCE WITH MUNICIPAL AND / OR NATIONAL BUILDING REGULATIONS. THE DESIGN IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT. ALL FOUNDATIONS TO BE LAID ON SOLID GROUND. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

DWG NAME: OUTBUILDINGS
PLAN SECTS &
ELEVS
PROJECT: goedeverwachting
CLIENT: mountain view estate

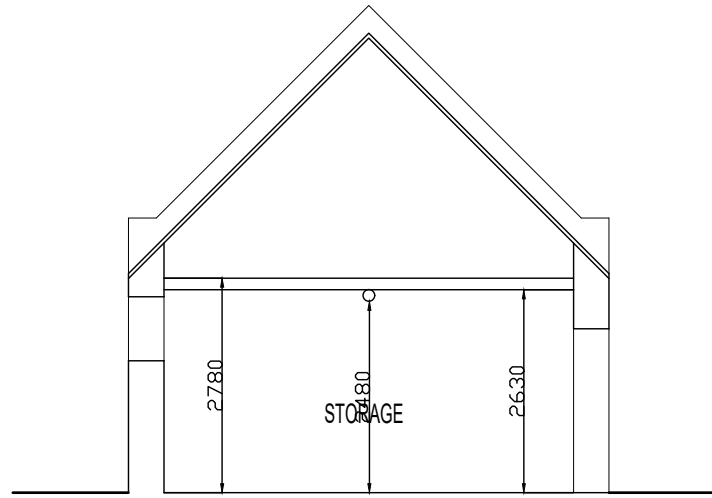
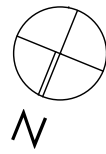
DRAWN: seh	SCALE: 1/250	DATE: 2023 -11-10
JOB NO:	REV NO:	DWG NO:
2309	0	2309-CMP-09



GROUND STOREY PLAN

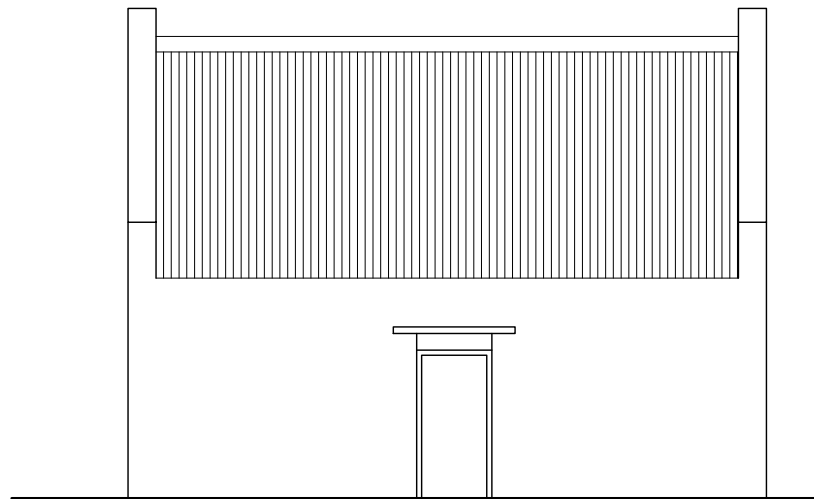
SCALE 1:100

STABLE



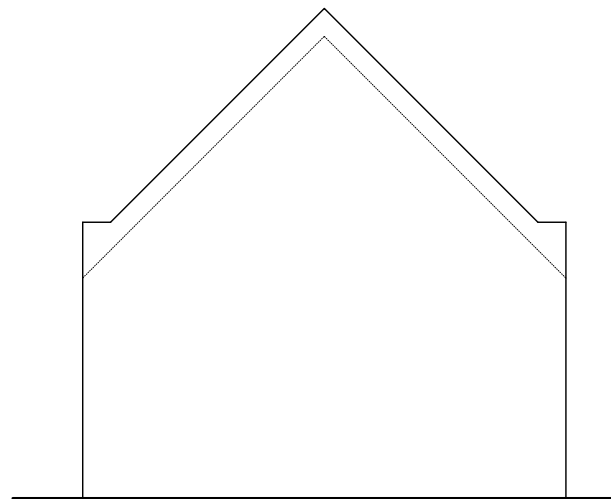
SECTION L-L

SCALE 1:100



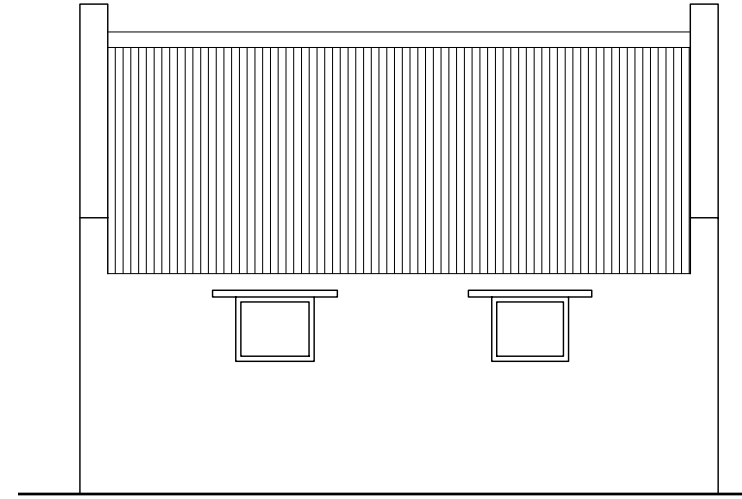
NORTH ELEVATION

SCALE 1:100



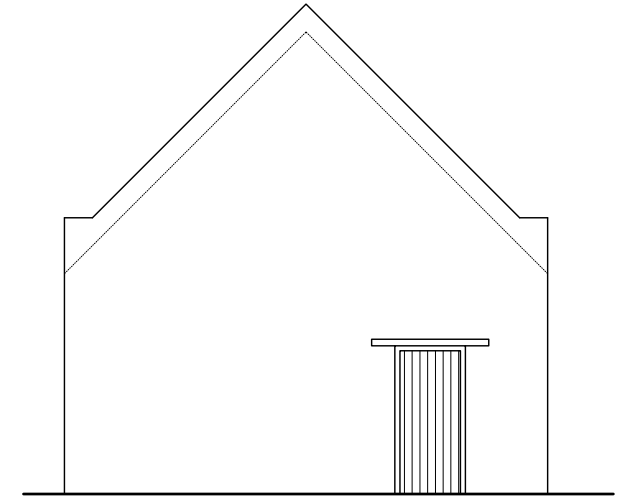
WEST ELEVATION

SCALE 1:100



SOUTH ELEVATION

SCALE 1:100

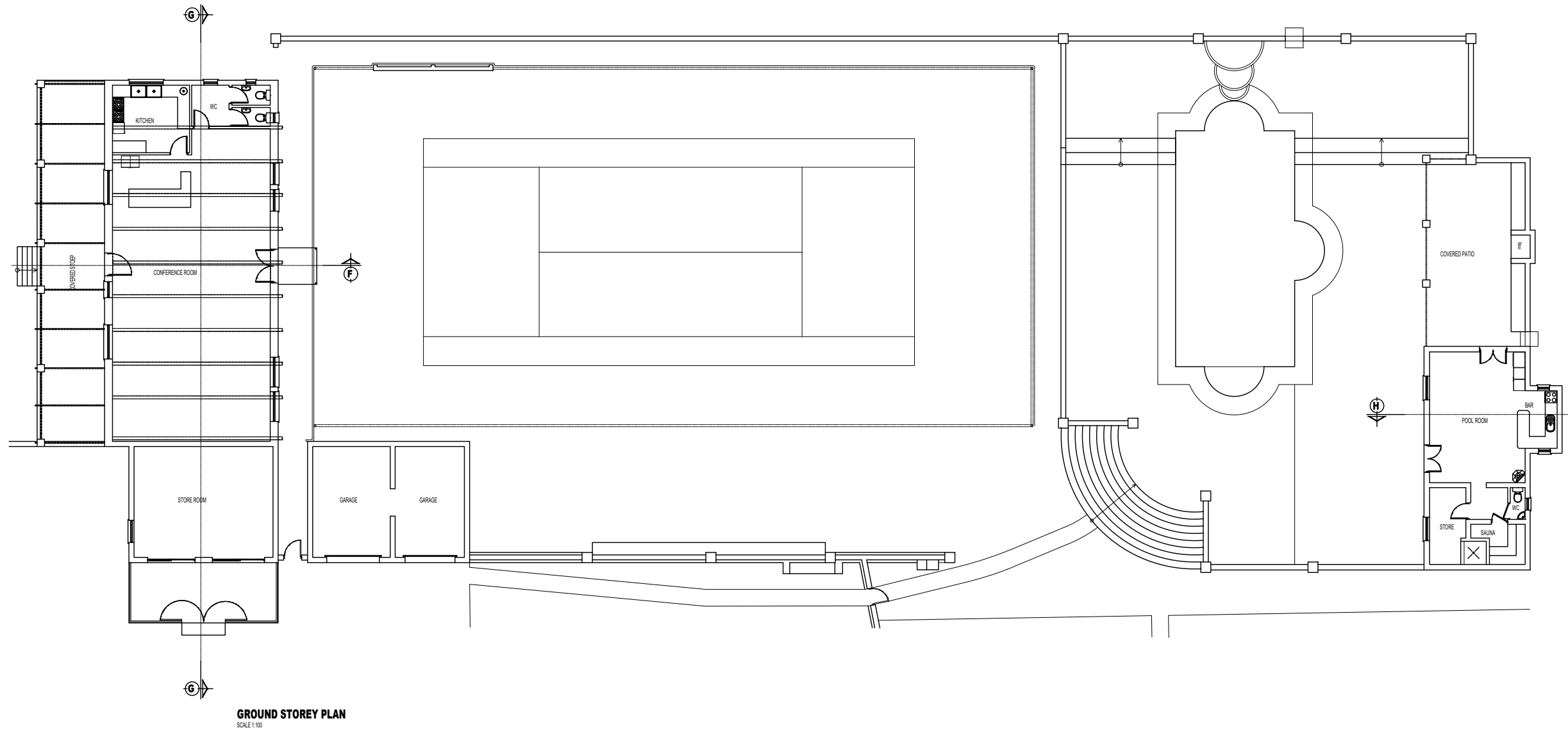


EAST ELEVATION

SCALE 1:100

NOTES:

ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE BEFORE ANY WORK COMMENCES. PREFERENCE ALWAYS TO BE GIVEN TO WRITTEN DIMENSIONS OVER SCALED. ALL WORK CARRIED OUT IN ACCORDANCE WITH MUNICIPAL AND / OR NATIONAL BUILDING REGULATIONS. THE DESIGN IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT. ALL FOUNDATIONS TO BE LAID ON SOLID GROUND. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.



NOTES:

NOT CONSERVATION-WORTHY BUILDINGS

ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE BEFORE ANY WORK COMMENCES. PREFERENCE ALWAYS TO BE GIVEN TO WRITTEN DIMENSIONS OVER SCALED. ALL WORK CARRIED OUT IN ACCORDANCE WITH MUNICIPAL AND / OR NATIONAL BUILDING REGULATIONS. THE DESIGN IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT. ALL FOUNDATIONS TO BE LAID ON SOLID GROUND. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

DWG NAME: POOL PRECINCT
PLAN

PROJECT: goedeverwachting
CLIENT: mountain view estate

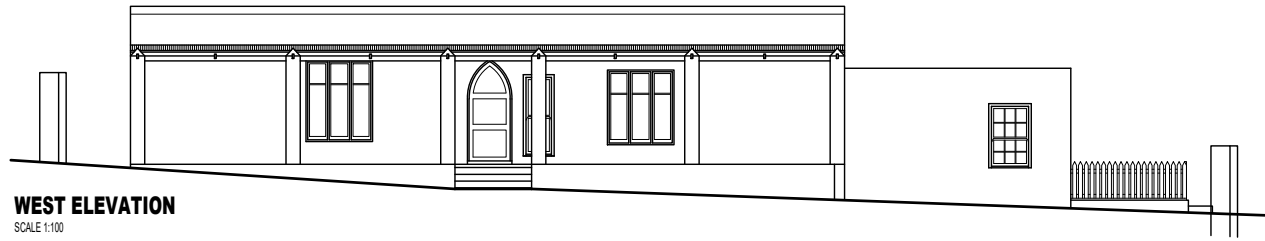
DRAWN: seh **SCALE:** 1/250 **DATE:** 2023 -11-10

JOB NO: **REV NO:**

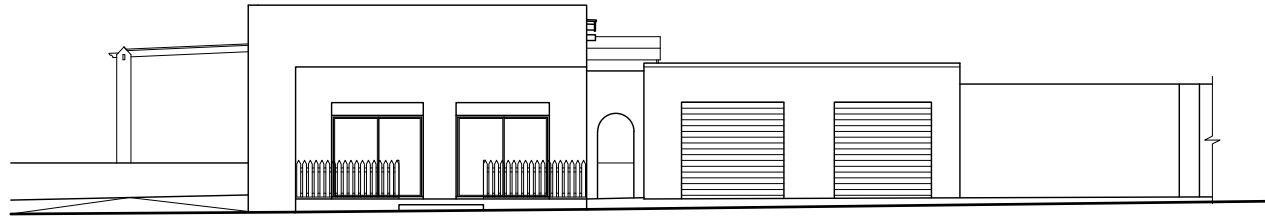
2309

0

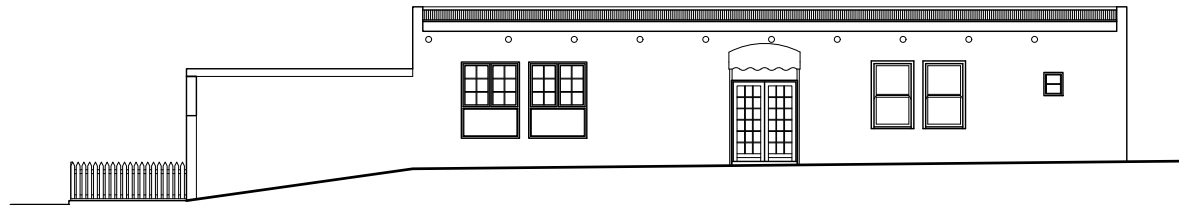
DWG NO:
2309-CMP-11



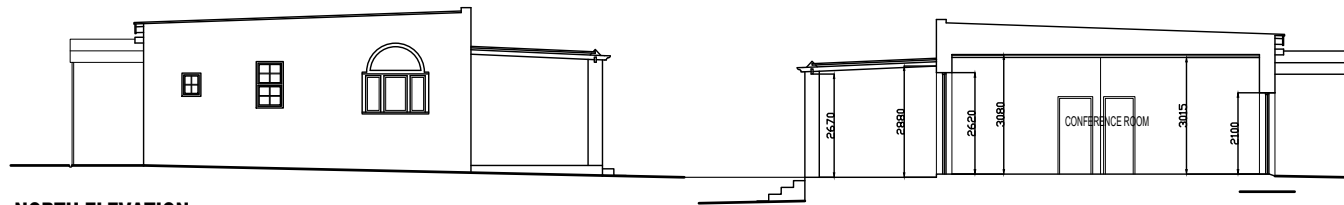
WEST ELEVATION
SCALE 1:100



SOUTH ELEVATION
SCALE 1:100

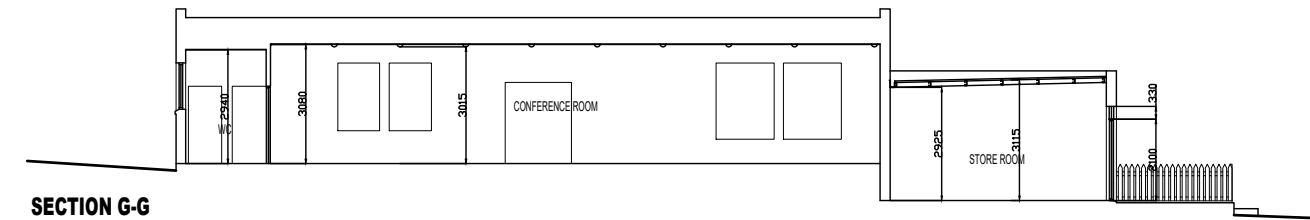


EAST ELEVATION
SCALE 1:100



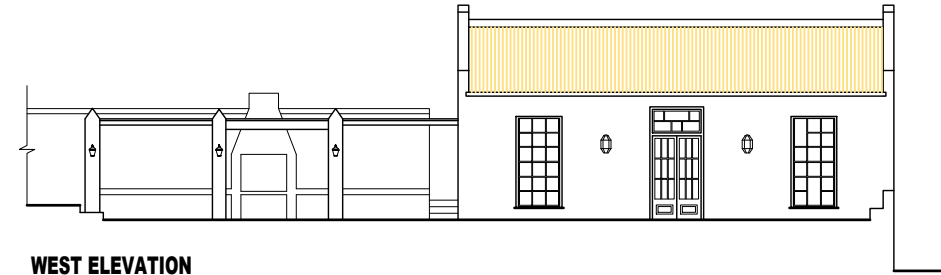
NORTH ELEVATION
SCALE 1:100

SECTION F-F
SCALE 1:100
CONFERENCE ROOM

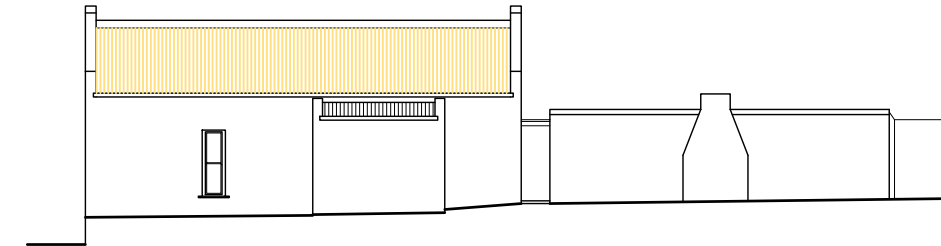


SECTION G-G
SCALE 1:100

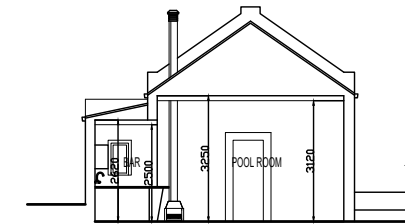
CONFERENCE ROOM



WEST ELEVATION
SCALE 1:100

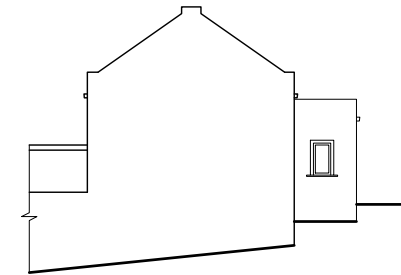


EAST ELEVATION
SCALE 1:100



SECTION H-H
SCALE 1:100

POOL HOUSE



SOUTH ELEVATION
SCALE 1:100



NORTH ELEVATION
SCALE 1:100

NOTES:

NOT CONSERVATION-WORTHY BUILDINGS

ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE BEFORE ANY WORK COMMENCES. PREFERENCE ALWAYS TO BE GIVEN TO WRITTEN DIMENSIONS OVER SCALED. ALL WORK CARRIED OUT IN ACCORDANCE WITH MUNICIPAL AND / OR NATIONAL BUILDING REGULATIONS. THE DESIGN IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT. ALL FOUNDATIONS TO BE LAID ON SOLID GROUND. ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

DWG NAME: POOL PRECINCT
SECTS & ELEVS

PROJECT: goedeverwachting
CLIENT: mountain view estate

POOL HOUSE

DRAWN: seh SCALE: 1/250 DATE: 2023-11-10

JOB NO:

2309

REV NO:

0

DWG NO:

2309-CMP-12